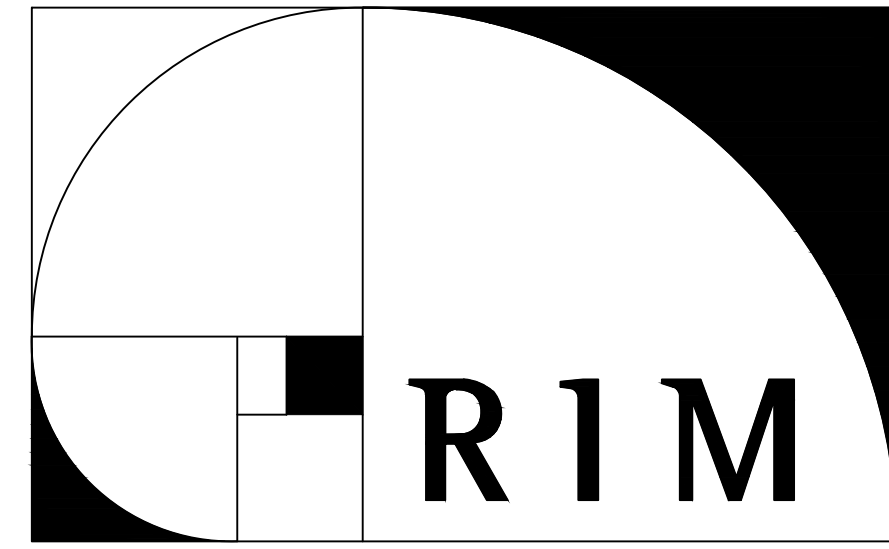


MCH RENOVATION PROJECT, GMHA 007-2014

PERMIT SET

08.31.2015

Guam Memorial Hospital



ARCHITECTS

Client

Guam Memorial Hospital
850 Gov. Carlos Camacho Road
Oka, Tamuning, Guam 96911

Architect

RIM Architects
316 Herman Cortez Avenue, Suite 300
Hagatna, Guam 96910
671-477-2111 ph
671-477-2125 fx
Brent Wiese, RA

Medical Architect

NAC Architecture
1203 West Riverside Ave.
Spokane, WA 99021
509-838-8240 ph
509-838-8261 fx
509-993-7546 cp
Jeani Natwick, AIA, NCIDQ, LEED AP

Civil / Surveying / Structural

AmOrient Engineers, Inc.
643 Chalan San Antonio,
Suite 114 KG Plaza
Tamuning, Guam 96913
671-472-3301 ph
John M. Robertson, PE
Terangue E.R. Gillham, PE, SE

Mechanical / Med Gasses

Fire Protection

Coffman Engineers, Inc.
Baltaj Pavilion Building, Suite 315
415 Chalan San Antonio
Tamuning, Guam 96913
671-300-7531 ph
Robert T. Bigtas, PE
William P. Lee, PE

Electrical

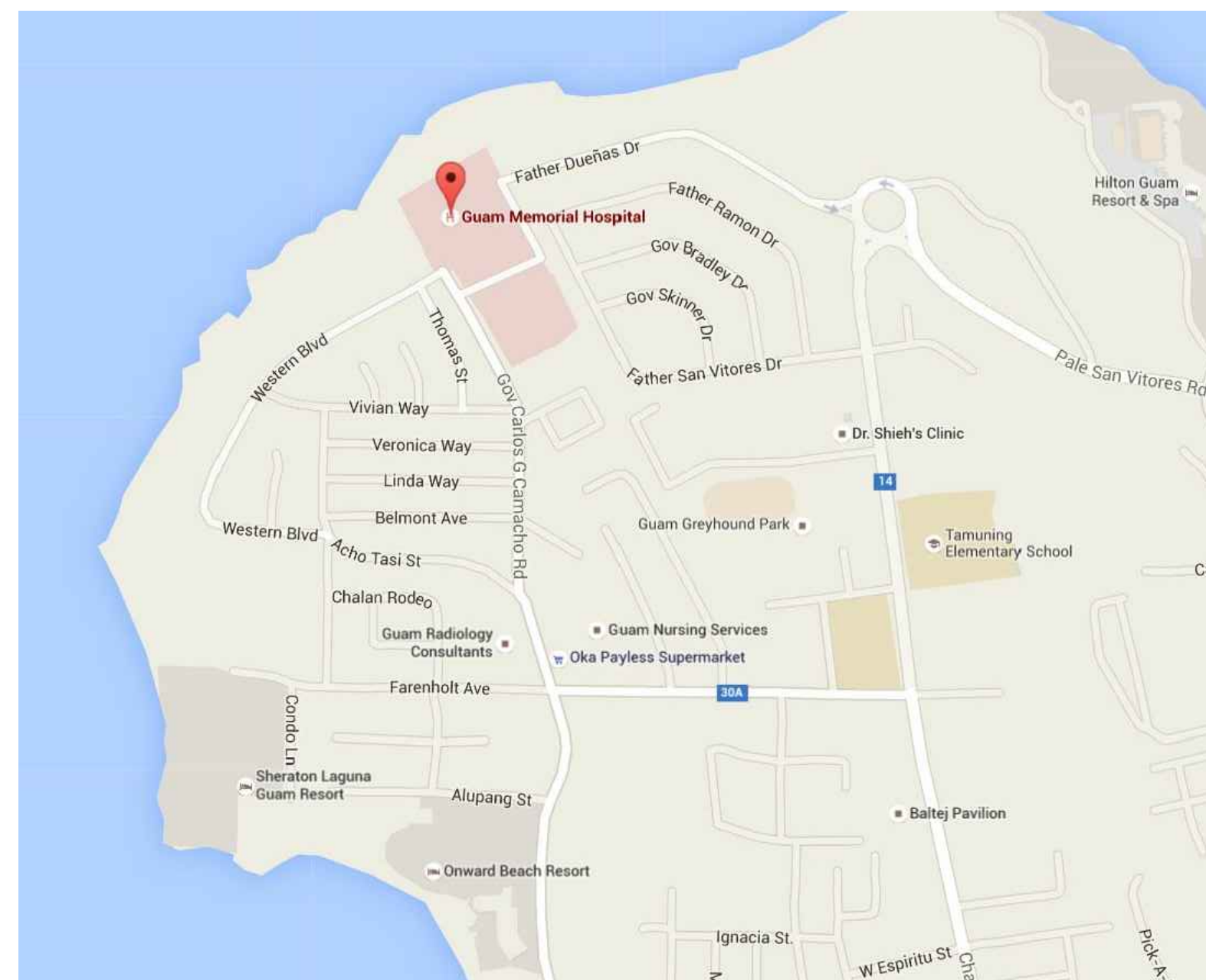
Wixon & Associates, LLC
825 S. Marine Corps Drive, 2nd Floor Bank Pacific
Tamuning, Guam 96913
671-646-1033 ph
671-646-5417 fx
671-687-4284 cp
Wayne Wixon, PE

Cost Estimating

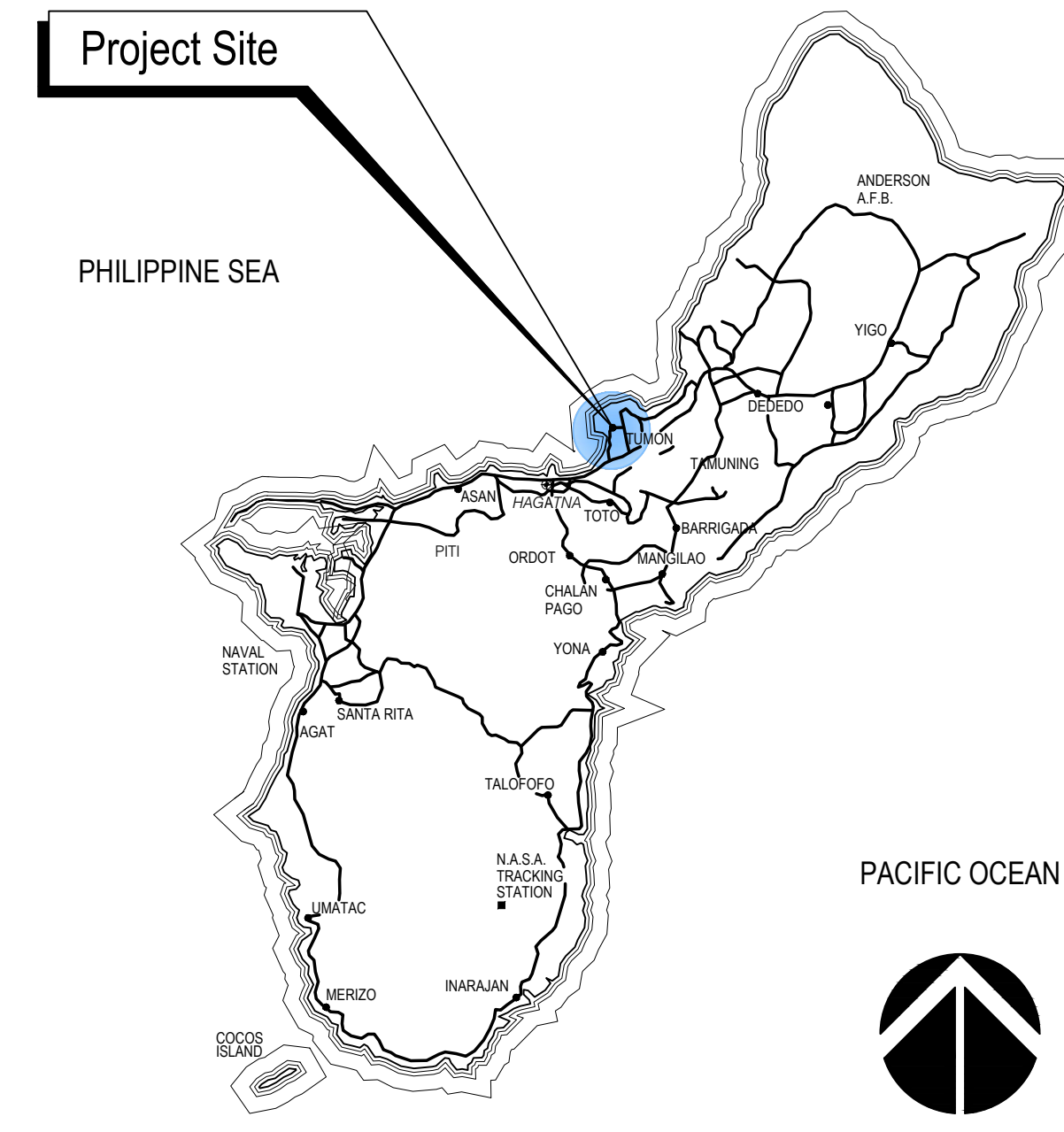
Rider Levett Bucknall
GCIC Building, Suite 603
414 West Soledad Avenue
Hagatna, Guam 96910
671-473-9054 ph
Emile le Roux



Vicinity Map



Location Map

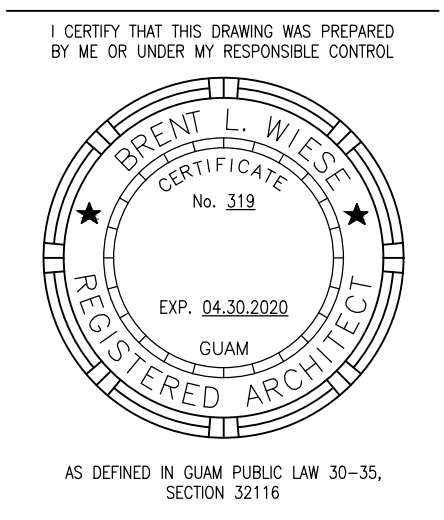
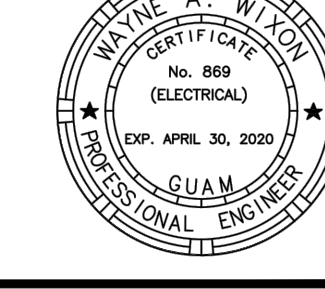
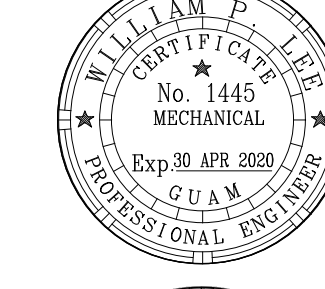
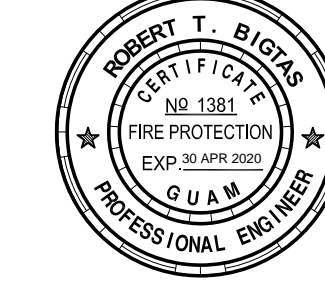
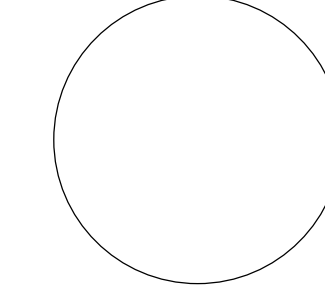
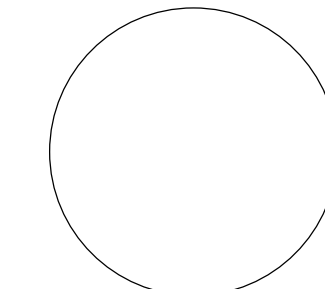
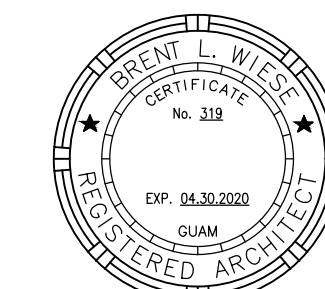


General Notes

- ALL WORK SHALL CONFORM TO THE BUILDING CODES OF GUAM AND OTHER APPLICABLE CODES RELATED TO THIS PROJECT.
- DO NOT DISASSEMBLE THE SET. REFER TO THE DRAWING INDEX FOR A MASTER LIST OF SHEETS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS BEFORE COMMENCING WITH ANY WORK. ANY DISCREPANCY SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT AND IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEM. AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ON THE BASES OF GENERAL SCOPE INDICATED OR DESCRIBED. THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF WORK.
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES. THE USE OR REPRODUCTION OF THESE CONTRACT DRAWINGS BY ANY CONTRACTOR, SUBCONTRACTOR, ERECTOR, FABRICATOR, OR MATERIAL SUPPLIER IN LIEU OF PREPARATION OF SHOP DRAWINGS SIGNIFIES HIS ACCEPTANCE OF ALL INFORMATION SHOWN HEREIN AS CORRECT AND OBLIGATES HIMSELF TO ANY JOB EXPENSE, REAL OR IMPLIED, ARISING DUE TO ANY ERRORS THAT MAY OCCUR.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF BEST PRACTICE BY WORKERS SKILLED IN THEIR RESPECTIVE TRADES. APPROVED ALTERNATES OR SUBSTITUTIONS SHALL BE EQUAL TO WORK SIMILAR IN TYPE, CHARACTER AND MATERIAL SPECIFIED IN THE CONSTRUCTION DOCUMENTS.
- THE AMERICANS WITH DISABILITIES ACT (A.D.A.) IS SUBJECT TO VARIOUS AND POSSIBLY CONTRADICTORY INTERPRETATIONS. THESE PLANS AND ANY ACCOMPANYING SPECIFICATIONS REPRESENT THE DESIGNER'S OPINION REGARDING ITS INTERPRETATION OF THE A.D.A. AS IT APPLIES TO THE SUBJECT PROJECT. ANY VARIANCE FROM THESE DOCUMENTS MAY CREATE NON-COMPLIANCE TO THE ACT.
- CONTRACTOR SHALL MAINTAIN THE JOBSITE PER IBC CHAPTER 33 AND IFC CHAPTER 14, THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE AND MAINTAIN PORTABLE 2A10BC FIRE EXTINGUISHERS ON SITE DURING CONSTRUCTION.

Project Summary

- BUILDING CODES:
2009 INTERNATIONAL BUILDING CODE
2009 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL MECHANICAL CODE
2009 INTERNATIONAL PLUMBING CODE
2010 AMERICANS WITH DISABILITIES ACT (ADA)
2013 NATIONAL ELECTRICAL CODE
2010 FGI GUIDELINES FOR HOSPITALS & OUTPATIENT FACILITIES
- OCCUPANCY CLASSIFICATION:
MAIN OCCUPANCY, GROUP I-2 HOSPITALS
- CONSTRUCTION TYPE: I-A
- ACTUAL IMPROVEMENT AREA:
FIRST FLOOR LOBBY RENOVATION 2,787 SF
FIRST FLOOR COURTYARD INFILL 3,300 SF
SECOND FLOOR COURTYARD INFILL 4,471 SF
SECOND FLOOR L&O RENOVATION 17,462 SF
NEW ELEVATOR / STAIR ENCLOSURE 4,641 SF
TOTAL 32,661 SF
- OCCUPANCY LOAD:
NICU SMOKE COMPARTMENT 3,018 SF / 120 = 25 OCCUPANTS
L&O / OB SMOKE COMPARTMENT 16,500 SF / 120 = 137 OCCUPANTS
(E) BLDG B RENOVATION AREA 1,325 SF / 120 = 11 OCCUPANTS
LACTATION EDUCATION 325 SF / 15 = 22 OCCUPANTS
- EXITS REQUIRED / PROVIDED:
NICU SMOKE COMPARTMENT 1 / 1
L&O / OB SMOKE COMPARTMENT 2 / 2
LACTATION EDUCATION 1 / 1



PERMIT SET

MCH RENOVATION PROJECT, GMHA 007-2014
GMHA FAMILY BIRTH CENTER
850 GOVERNOR CAMACHO ROAD, OKA, TAMUNING, GUAM 96913
GUAM MEMORIAL HOSPITAL AUTHORITY
PERSPECTIVE, LOCATION MAP, VICINITY MAP
PROJECT TEAM, INDEX OF DRAWINGS, GENERAL NOTES

PROJECT TITLE	OWNER	SHEET TITLE
1/13/2016		REVISION
2/4/8/2016		REVISION
3/10/27/2016		REVISION
5/5/24/2017		REVISION
7/4/30/2019		REVISION

MARK	DATE	DESCRIPTION
	2015.08.31	
	144052	
	MDG	
	BLW	

DWG NO:
G001

ABBREVIATION LEGEND

A	AB ANCHOR BOLT ABS ACRYLONITRILE ABV BUTADIENE STYRENE AC ABOVE A/C AIR CONDITIONING AC ASPHALTIC CONCRETE ACP ACOUSTICAL CEILING AD PANEL AD AREA DRAIN ADJ ADDITIONAL ADJ ADJACENT AFF ABOVE FINISH FLOOR AFS ABOVE FINISH SLAB AGGR AGGREGATE ALUM ALUMINUM ALT ALTERNATE AND ANDROZED APPROX APPROXIMATE ARCH ARCHITECTURAL	FOS FOS FACE OF STUD FP FACE OF WALL FR FIRE PROOF FR FRAME FRP FIBERGLASS FRP REINFORCED PLASTIC FRZ FIRE RETARDANT FRZ TREATED FRZ AREA DRAIN FRZ FREEZER FT FEET FTD FACIAL TISSUE DISPENSER FTG FOOTING FURG FURRING FUT FUTURE	OPH OPH OPPOSITE HAND OPNG OPENING OPP OPPOSITE OPR OPERABLE OVID OVER HEAD	UH UH UNIT HEADER UL UNDERWRITERS UL LABORATORY UNFIN UNFINISHED UNO UNLESS NOTED UNO OTHERWISE UR URINAL	P PA PUBLIC ADDRESS PC PIECE PCC PRECAST CONCRETE PEND PENDANT PERM PERIMETER PH PENTHOUSE PLAS PLASTER PLBG PLUMBING PLM PROPERTY LINE PLAM PLASTIC LAMINATE PLYWD PLYWOOD PNL PANEL PR PAR PROP PROPERTY PREFAB PREFABRICATE PT PAINT PTD PAPER TOWEL DISPENSER PTDR PAPER TOWEL DISPENSER AND WASTE RECEPTACLE PARTITION PTR PAPER TOWEL RECEPTACLE PVC POLYVINYL CHLORIDE PVMT PAVEMENT	W W WIDE W WITH WC WALL COVERING WCLR WATER COOLER WD WOOD WESP WASTE DISPOSER WDW WINDOW WF WIDE FLANGE WGL WIRE GLASS WH WITHOUT WP WEATHERPROOF/ WATERPROOFING WATER REPELLENT WANSOT WANSOT WSP WET STAND PIPE WT WEIGHT WWF WELDED WIRE FABRIC	Q QT QUARRY TILE	R R RISER R RADIUS RA RETURN AIR RB RUBBER BASE RB HK ROBE HOOK RCP REFLECTED CEILING PLAN RD ROOF DRAIN REC RECESSED REF REFRIGERATOR REFL REFLECTED REG REGISTER REIN REINFORCE RECS RECOMMENDATIONS REQD REQUIRED RESIL RESILIENT REST REST ROOM REV REVISION RTF RUBBER TILE FLOOR RFG ROOFING RLG RAILING RH RIGHT HAND RND ROUND RM ROOM RO ROUGH OPENING RWL RAIN WATER LEADER	S S SOUTH SA SUPPLY AIR SAFB SOUND ATTENUATION FIBERGLASS BLANKET SB SPLASH BLOCK SC SOLID CORE SCHED SCHEDULE SCD SEAT COVER DISPENSER SCF SCUPPER SCR SHOWER CURTAIN ROD SCRN SCREEN SD SMOKE DETECTOR SECT SECTION SED SEE ELECTRICAL DRAWINGS SF SQUARE FEET SHT SHEET SHR SHOWER SHTHG SHEATHING SHV SHELVING SIM SIMILAR SLS SLOPE SLDG SLIDING SLANT SEALANT SM SHEET METAL SNP SANITARY NAPKIN SDN DISPENSER SNDU SANITARY NAPKIN DISPOSAL UNIT SPC SPACING SPEC SPECIFICATION SPKLR SPRINKLER SPKR SPEAKER SQ SQUARE SSD SEE STRUCTURAL DRAWINGS SST STAINLESS STEEL SMD SEE MECHANICAL DRAWINGS SMLS SEAMLESS SS SOLID SURFACE STA STATION STD STANDARD STL STEEL STR STORAGE STR STRINGERS STRUCT STRUCTURAL SURR SURROUND SUSP SUSPENDED SVCE SERVICE SW SWITCH SYMM SYMMETRICAL SYS SYSTEM	T T TREAD TB TOWEL BAR TBD TO BE DETERMINED TD TRENCH DRAIN TEL TELEPHONE TEMP TEMPERATURE TER TERRAZZO T&G TONGUE & GROOVE THRES THRESHOLD THRU THROUGH THK THICKNESS TK BD TACK BOARD TMPD TEMPERED TOC TOP OF CURB TOM TOP OF MASONRY TOP TOP OF PARAPET TOS TOB OF SLAB TOW TOP OF WALL TPD TOILET PAPER DISPENSER TPH TOILET PAPER HOLDER TS TUBE STEEL TSH TOWEL SHELF TSTAT THERMOSTAT TV TELEVISION TYP TYPICAL TLT TOILET	U UBC UNIFORM BUILDING CODE UC UNDERCUT UNGD UNDERGROUND
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MATERIALS LEGEND

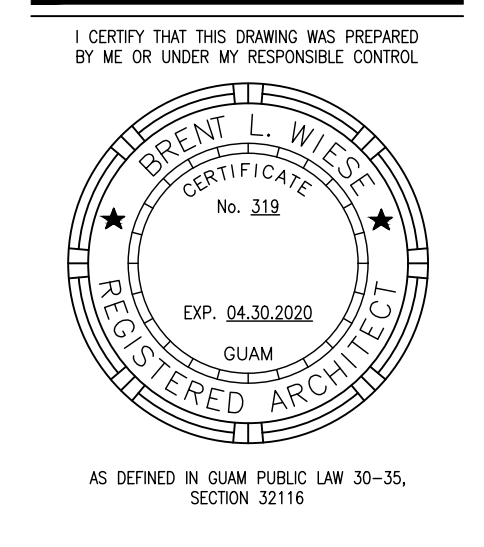
	CONCRETE		CMU
	SAND, MORTAR, PLASTER, TILE BACKER BOARD		BASE COURSE, CUSHION FILL, SUB BASE, GRAVEL, CRUSHED ROCK
	EARTH, COMPACT FILL		BATT INSULATION
	FINISHED WOOD		RIGID INSULATION
	METAL		PLYWOOD/MDF
	GLASS		GYPSUM WALL BOARD
	CERAMIC TILE, VCT OR RESILIENT FLOORING		ACOUSTICAL TILE
	CARPET		

DRAWING INDEX

ELECTRICAL	E001 NOTES, LEGEND, ABBREVIATIONS AND CALCULATIONS E002 PARTIAL ONE-LINE DIAGRAM AND C-WING ELECTRICAL ROOM - DEMOLITION PLAN E003 NEW PARTIAL ONE-LINE DIAGRAM AND NEW C-WING POWER PLAN E101 OVERALL POWER PLAN E201 PARTIAL SECOND FLOOR LIGHTING PLAN - SECTOR A E202 PARTIAL SECOND FLOOR LIGHTING PLAN - SECTOR B E203 PARTIAL SECOND FLOOR LIGHTING PLAN - SECTOR C E204 PARTIAL SECOND FLOOR LIGHTING PLAN - SECTOR D E301 PARTIAL SECOND FLOOR POWER PLAN - SECTORS A1 & A2 E302 PARTIAL SECOND FLOOR POWER PLAN - SECTOR B E303 PARTIAL SECOND FLOOR POWER PLAN - SECTOR C E304 PARTIAL SECOND FLOOR POWER PLAN - SECTOR D E305 PARTIAL SECOND FLOOR POWER PLAN - SECTOR E E306 PARTIAL SECOND FLOOR POWER PLAN - SECTOR F E307 PARTIAL SECOND FLOOR POWER PLAN - SECTOR G E308 PARTIAL SECOND FLOOR POWER PLAN - SECTOR H E309 PARTIAL SECOND FLOOR MECHANICAL POWER PLAN E310 PARTIAL THIRD FLOOR ROOF POWER PLAN E401 PARTIAL SECOND FLOOR COMM/DATA PLAN - SECTOR A E402 PARTIAL SECOND FLOOR COMM/DATA PLAN - SECTOR B E403 PARTIAL SECOND FLOOR COMM/DATA PLAN - SECTOR C E404 PARTIAL SECOND FLOOR COMM/DATA PLAN - SECTOR D E405 PARTIAL SECOND FLOOR NURSE CAL/ INTERCOM/ CCTV/FIRE ALARM PLAN - SECTOR A E406 PARTIAL SECOND FLOOR NURSE CAL/ INTERCOM/ CCTV/FIRE ALARM PLAN - SECTOR B E407 PARTIAL SECOND FLOOR NURSE CAL/ INTERCOM/ CCTV/FIRE ALARM PLAN - SECTOR C E408 PARTIAL SECOND FLOOR NURSE CAL/ INTERCOM/ CCTV/FIRE ALARM PLAN - SECTOR D E501 POWER AND TELECOMM SECTIONS E502 DETAILS E601 COMMUNICATION DATA RISER DIAGRAMS E602 TELECOMMUNICATION DETAILS E603 NURSE CALL / INTERCOM RISER/ FIRE ALARM DIAGRAMS E701 PANEL SCHEDULES E702 PANEL SCHEDULES E703 PANEL SCHEDULES E801 LIGHT FIXTURE SCHEDULES E802 LIGHT FIXTURE SCHEDULES E803 LIGHT FIXTURE SCHEDULES	GENERAL	G001 PERSPECTIVE, LOCATION MAP, VICINITY MAP, PROJECT TEAM, INDEX OF DRAWINGS & GENERAL NOTES G002 DRAWING INDEX, ABBREVIATIONS, SYMBOL LIST G003 PARTIAL GROUND FLOOR PHASING PLAN G004 PARTIAL SECOND FLOOR PHASING PLAN
CIVIL	C001 GENERAL NOTES, DESIGN CRITERIA, ABBREVIATIONS, EXISTING FIRE HYDRANT LOCATION C101 REMOVAL PLAN DETAILS OF MODIFIED DRAINAGE AND SEWER MANHOLES	ARCHITECTURAL	AD101 PARTIAL GROUND FLOOR DEMOLITION PLAN AD102 PARTIAL SECOND FLOOR DEMOLITION PLAN AD103 PARTIAL THIRD & FOURTH FLOOR DEMOLITION PLAN AE001 OVERALL SITE PLAN AE101 PARTIAL GROUND FLOOR PLAN AE102 PARTIAL SECOND FLOOR PLAN AE103 PARTIAL THIRD, FOURTH AND UPPER ROOF PLANS AE110 ENLARGED GROUND FLOOR PLAN AE111 ENLARGED SECOND FLOOR PLAN "A" AE112 ENLARGED SECOND FLOOR PLAN "B" AE113 ENLARGED SECOND FLOOR PLAN "C" AE114 ENLARGED SECOND FLOOR PLAN "D" AE121 PARTIAL GROUND FLOOR REFLECTED CEILING PLAN AE122 PARTIAL SECOND FLOOR REFLECTED CEILING PLAN AE123 PARTIAL THIRD AND FOURTH FLOOR REFLECTED CEILING PLANS, DETAIL CEILING PLANS AE161 PARTIAL GROUND FLOOR FINISH AND SIGNAGE PLAN AE162 PARTIAL SECOND FLOOR FINISH AND SIGNAGE PLAN AE163 PARTIAL THIRD AND FOURTH FLOOR FINISH AND SIGNAGE PLAN AE181 ENLARGED GROUND FLOOR EQUIPMENT PLAN AE182 ENLARGED SECOND FLOOR EQUIPMENT PLAN "A" AE183 ENLARGED SECOND FLOOR EQUIPMENT PLAN "B" AE184 ENLARGED SECOND FLOOR EQUIPMENT PLAN "C" AE185 ENLARGED SECOND FLOOR EQUIPMENT PLAN "D" AE201 EXTERIOR ELEVATION AE211 INTERIOR ELEVATIONS AE212 INTERIOR ELEVATIONS AE213 INTERIOR ELEVATIONS AE302 BUILDING SECTIONS AE321 PARTITION TYPES AE322 PARTITION TYPES AE401 ENLARGED PLANS AE402 ENLARGED PLANS AE403 ELEVATOR & STAIRWELL DETAILS & PLANS AE404 ENLARGED ELEVATOR DETAILS & PLANS AE501 DETAILS - ROOF, EXPANSION JOINTS, EXTERIOR SYSTEM, WATERPROOFING & PENETRATIONS AE502 DETAILS - DOORS AE503 DETAILS - CASEWORK AE504 DETAILS - CASEWORK AE505 DETAILS - MISCELLANEOUS AE601 DOOR SCHEDULE AND TYPES AE602 WINDOW SCHEDULE, WINDOW TYPES AND DETAILS AE603 ROOM FINISH AND MATERIAL SCHEDULES AE604 EQUIPMENT AND FURNISHINGS SCHEDULE AE605 EQUIPMENT AND FURNISHINGS SCHEDULE AE606 MOUNTING HEIGHTS SCHEDULE & ACCESS NOTES AE607 SIGNAGE SCHEDULES AND TYPES
STRUCTURAL	S00.1 GENERAL NOTES & STRUCTURAL DESIGN CRITERIA S00.2 EMBEDMENT & LAP NOTES AND TYPICAL DETAILS S00.3 STATEMENT OF SPECIAL INSPECTION S1.01 FOUNDATION PLAN S1.02 2ND LEVEL FRAMING PLAN S1.03 3RD LEVEL FRAMING PLAN S1.04 4TH LEVEL & ROOF FRAMING PLAN S2.01 SECTION & FRAME ELEVATION S2.02 SECTION & FRAME ELEVATION S2.03 ELEVATIONS S2.04 SECTIONS S2.05 SECTIONS S3.01 COLUMN & BEAM SCHEDULE AND TYP. BEAM ELEVATIONS S3.02 DETAILS	FIRE PROTECTION / LIFE SAFETY	FP001 FIRE SPRINKLER NOTES, LEGEND, ABBREVIATIONS FP101 PARTIAL FIRST FLOOR SPRINKLER PLAN FP201 PARTIAL 2ND, 3RD, 4TH & 5TH FLOOR SPRINKLER PLAN FP301 PARTIAL 1ST, 2ND, 3RD, 4TH AND ROOF SPRINKLER PLANS LS201 PARTIAL SECOND FLOOR LIFE SAFETY PLAN
PLUMBING	P001 PLUMBING LEGEND AND ABBREVIATIONS P101 PARTIAL FIRST FLOOR PLUMBING PLAN P201 PARTIAL SECOND FLOOR SANITARY SEWER PLAN P203 PARTIAL SECOND FLOOR PLUMBING PLAN P204 PARTIAL SECOND FLOOR PLUMBING PLAN P212 PARTIAL SECOND FLOOR MEDICAL GAS PLAN P300 PLUMBING DETAILS P301 PLUMBING DETAILS P400 PLUMBING SCHEDULES P500 PARTIAL SECOND FLOOR ISOMETRIC SANITARY WASTE & VENT	MECHANICAL	M001 MECHANICAL NOTES, LEGENDS, ABBREVIATIONS M101 PARTIAL FIRST FLOOR MECHANICAL PLAN M201 PARTIAL SECOND FLOOR MECHANICAL PLAN M202 PARTIAL THIRD FLOOR, ROOF PLANS M300 MECHANICAL DETAILS M301 MECHANICAL DETAILS M400 MECHANICAL DIAGRAMS M401 MECHANICAL SCHEDULES M402 MECHANICAL DDCS POINT SCHEDULES

SYMBOLS LEGEND

	ROOM NAME		ROOM DESIGNATION
	ROOM NUMBER		ENLARGED DETAIL IDENTIFICATION
	DOOR DESIGNATION		ENLARGED DETAIL DESIGNATION
	OPENING DESIGNATION		SHEET WHERE THE ENLARGED DETAIL IS REFERENCED
	CEILING HEIGHT TAG		EXTERIOR IDENTIFICATION
	EQUIPMENT DESIGNATION		EXTERIOR ELEVATION DESIGNATION
	WALL TYPE		SHEET WHERE ELEVATION IS DRAWN
	GRID LINE		DETAIL IDENTIFICATION
	REVISION DESIGNATION		DETAIL DESIGNATION
	PLAN KEYNOTE		SHEET WHERE DETAIL IS DRAWN
	DEMOLITION KEYNOTE		SECTION IDENTIFICATION
	EXTENT OF FINISH		BUILDING SECTION DESIGNATION
	BREAK LINE		SHEET WHERE SECTION IS DRAWN
	PLAN NORTH/NORTH		INTERIOR IDENTIFICATION
	MATCH LINE SEE XXX/XX-XXX		INTERIOR ELEVATION DESIGNATION
	TO JOIST XX'-XX'		SHEET WHERE ELEVATION IS DRAWN
	TITLE IDENTIFICATION TITLE_NAME_2 TITLE_NAME_1		MATCHLINE
	TITLE DESIGNATION 1/8" = 1'-0"		DATUM DESIGNATION



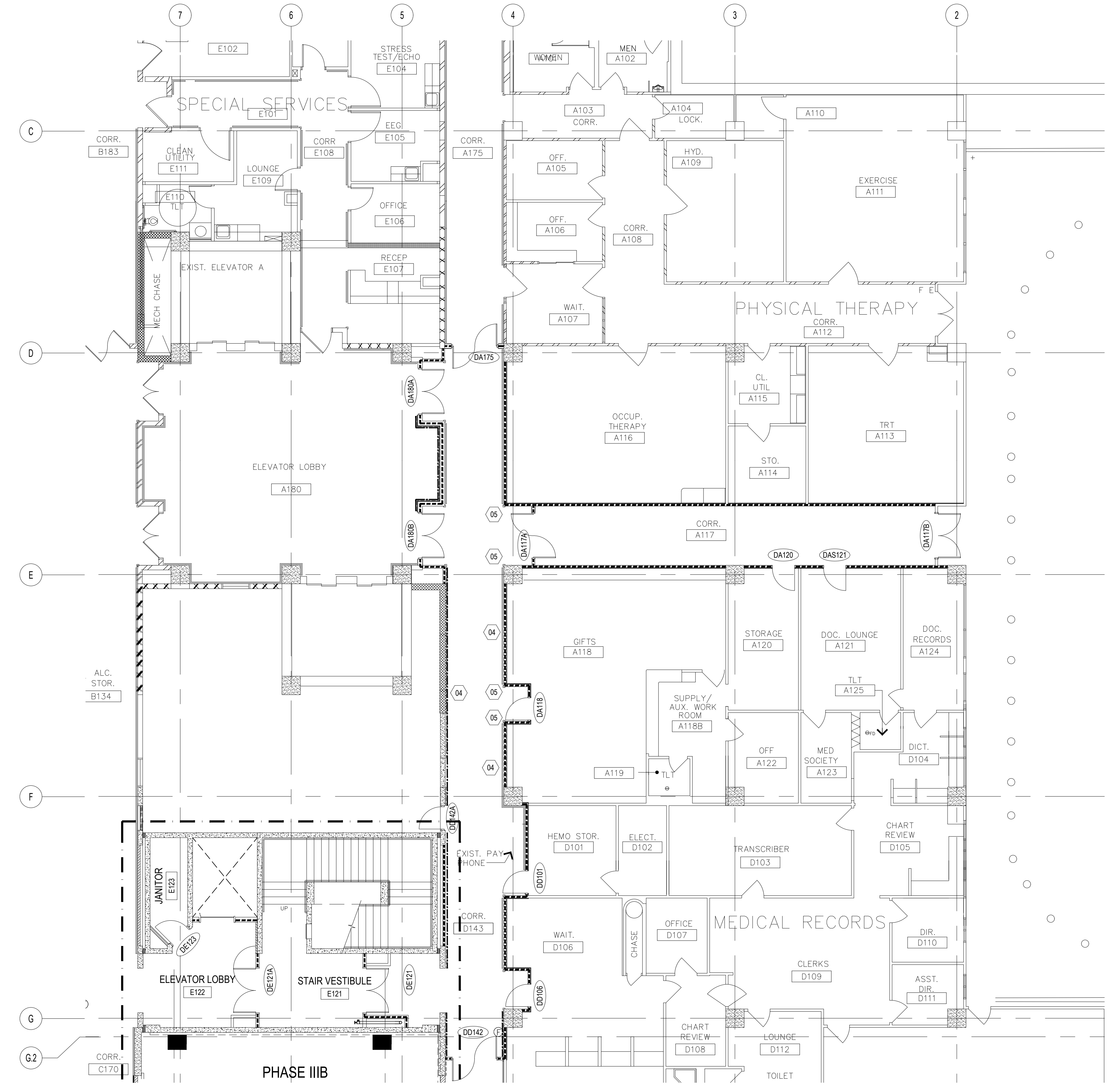
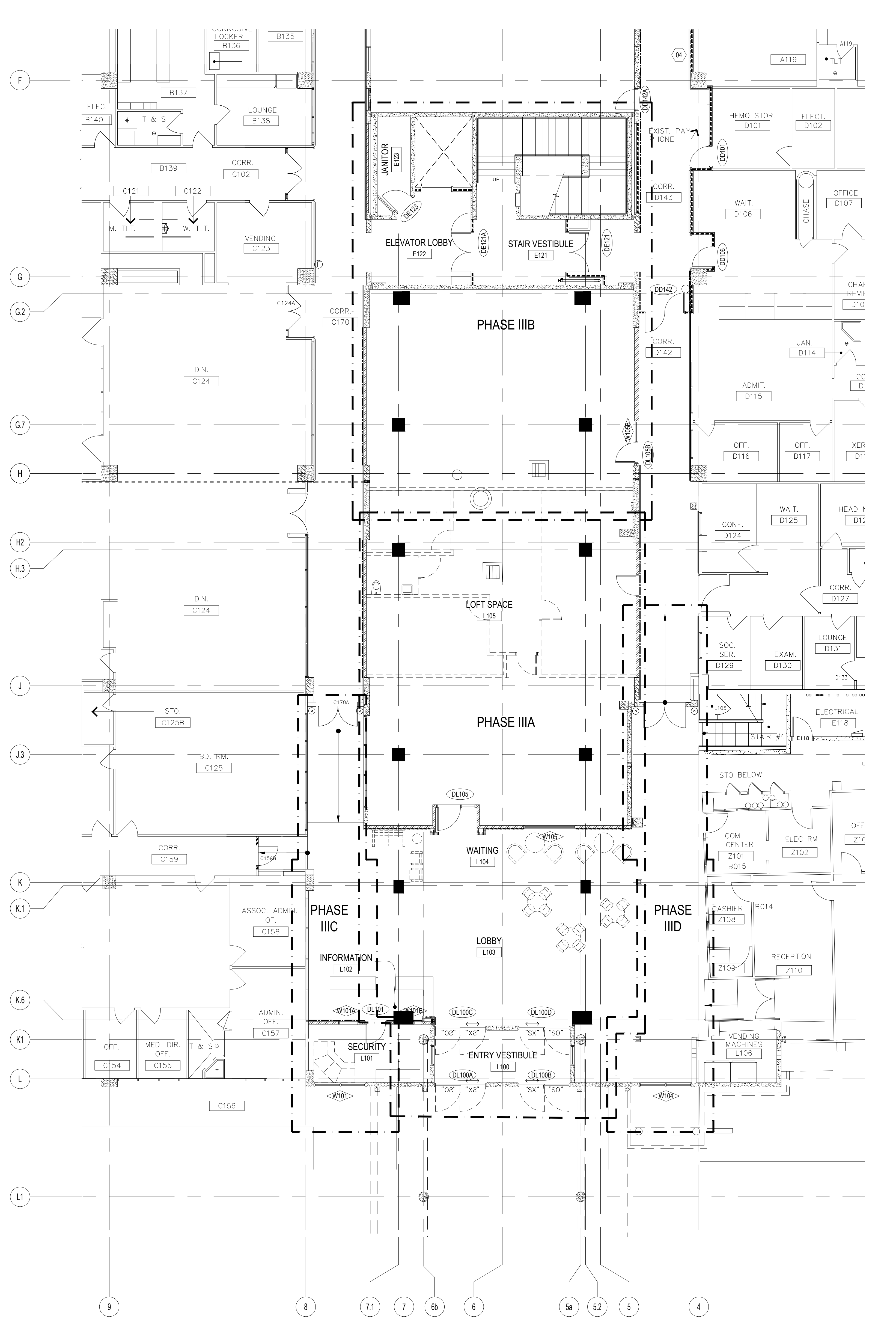
PERMIT SET

MCH RENOVATION PROJECT, GMHA 007-2014
GMHA FAMILY BIRTH CENTER
 850 GOVERNOR CAMACHO ROAD, OKA, TAMUNING, GUAM 96913

GUAM MEMORIAL HOSPITAL AUTHORITY
 ABBREVIATIONS, SYMBOLS, AND DRAWING INDEX

PROJECT TITLE:	1/31/2016	REVISION
OWNER:	4/8/2016	REVISION
SHEET TITLE:		
DATE:	2015.08.31	
PROJECT NO.:	144052	
DRAWN BY:	EMF	
CHECKED BY:	BLW	
COPYRIGHT:		
DWG NO.:		

G002



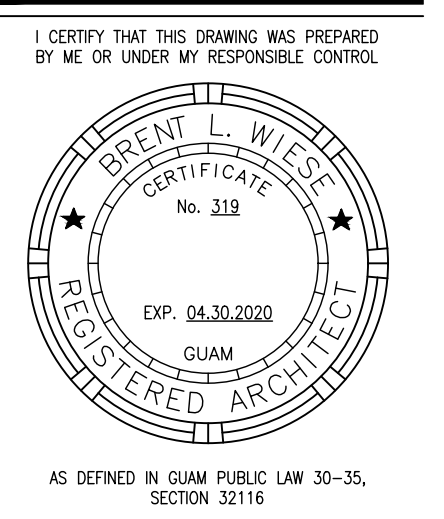
2 PARTIAL GROUND FLOOR STRUCTURAL PHASING PLAN
1/8" = 1'-0"

PHASING PLAN NOTES

- REFER TO SPECIFICATIONS FOR ADDITIONAL PHASING WORK REQUIREMENTS. REFER TO DEMOLITION PLANS TO SEE EXISTING ROOMS REFERENCED IN THESE NOTES.
- WHEN ANY EXISTING OR NEW CORRIDOR, OR ACCESS TO AN EGRESS EXIT ROUTE, IS CLOSED TO PUBLIC ACCESS, CONTRACTOR SHALL PROVIDE TEMPORARY DIRECTIONAL SIGNS TO AN ALTERNATE ROUTE.
- ALL WORK AT EXTERIOR WALLS SHALL BE PHASED AND/OR PROTECTED SO THAT RAIN DOES NOT ENTER INTO THE EXISTING SPACES, OCCUPIED SPACES, OR NEWLY COMPLETED SPACES. CONTRACTOR SHALL PROTECT ALL EXPOSED OPENINGS UPON A STORM EVENT COR3 DECLARED BY THE GOVERNOR.
- GMHA WILL PROVIDE A TEMPORARY SECURITY STATION UNTIL THE NEW SECURITY OFFICE L101 CAN BE COMPLETED. CONTRACTOR MAY HAVE TO PROVIDE TEMPORARY POWER AND DATA TO SUCH STATION.
- WORK IN CORRIDORS A117 AND D143 SHALL BE DONE WHILE THE CORRIDORS ARE OPERATIONAL. PROVIDE PROTECTION FOR THE PUBLIC, AND SCHEDULE THIS WORK TO HAVE THE LEAST AMOUNT OF IMPACT TO THE PUBLIC. COORDINATION AND SCHEDULING OF THIS WORK WITH GMHA WILL BE CRITICAL, AND WORK CAN NOT START UNTIL THE WORK PLAN AND SCHEDULE IS APPROVED BY GMHA.
- PHASES IIIA & IIIB
PHASE IIIA DEMOLITION WORK CANNOT START UNTIL ALL GFD REQUIREMENTS ARE MET. CONTRACTOR SHALL VERIFY ALL FIRE DOORS AT THE REAR EXIT STAIRWELL ARE PROPERLY LABELED, IN GOOD CONDITION AND WORKING ORDER, AND HAVE REQUIRED FIRE SEALS. CONTRACTOR SHALL VERIFY THAT ALL THIRD & FOURTH FLOOR CORRIDOR FIRE DOORS ARE ALSO IN GOOD CONDITION AND WORKING ORDER, WITH REQUIRED FIRE SEALS. CONTRACTOR SHALL REPLACE DOORS, SEALS, CLOSERS, ETC. AS NECESSARY.

- PHASES IIIA & IIIB
(CONTINUED) CONTRACTOR SHALL COVER ALL EXIT SIGNS TO THE EXISTING STAIRS TO BE REMOVED AND PROVIDE ADDITIONAL TEMPORARY EXIT SIGNS DIRECTING OCCUPANTS TO THE REAR STAIRWELL. CONTRACTOR SHALL WORK WITH GMHA TO TEST THE FIRE SPRINKLER & ALARM SYSTEMS TO VERIFY THEY ARE IN PROPER WORKING ORDER. COORDINATION AND SCHEDULING OF THIS WORK WITH GMHA WILL BE CRITICAL, AND WORK CAN NOT START UNTIL THE WORK PLAN AND SCHEDULE IS APPROVED BY GMHA. GMHA WILL DOCUMENT FOR GFD THAT ALL TRAINING AND ADDITIONAL SECURITY, AND TEMPORARY EVACUATION PLANS HAVE BEEN PROVIDED.
- PHASE IIIA PROVIDES A LARGE ACCESS FROM THE DRIVEWAY TO THE COURTYARD FOR MATERIALS AND EQUIPMENT. IT ALSO ALLOWS FOR THE EXISTING ROOF TO BE REMOVED AS DESCRIBED IN THE PLANS. ADJACENT LOBBY AREAS IN PHASES IIIC AND IIID MUST BE HOARDED IN A MANNER TO PROVIDE WEATHER PROOFING FOR OCCUPIED SPACES WHEN THE EXISTING ROOF IS DEMOLISHED. THESE CORRIDORS MUST REMAIN OPERATIONAL UNTIL THE NEW STRUCTURE AND INTERIOR LOBBY SPACES WITHIN PHASE IIIA IS COMPLETED.
- PHASES IIIC & IIID
EITHER PHASE MUST BE COMPLETED BEFORE STARTING WORK ON THE OTHER. ACCESS TO THE EXISTING ADMINISTRATION OFFICES AND EXIT CORRIDOR (ADJACENT TO STAIR 4 AND ELECTRICAL ROOM E118 MUST BE MAINTAINED AT ALL TIMES. TO COMPLETE THESE AREAS, NEITHER THE ADMINISTRATION WORK CORRIDOR WILL BE ACCESSIBLE, AND COORDINATION AND SCHEDULING OF THIS WORK WITH GMHA WILL BE CRITICAL, AND WORK CAN NOT START UNTIL THE WORK PLAN AND SCHEDULE IS APPROVED BY GMHA.
- IT IS POSSIBLE THAT THE EXISTING "Z WING" WILL BE DEMOLISHED BY OTHERS. IN SUCH A CASE, ADDITIONAL DRAWINGS WILL BE PROVIDED, AND POSSIBLE COST AND TIME IMPACT WILL BE REVIEWED WITH GMHA.

1 PARTIAL GROUND FLOOR STRUCTURAL PHASING PLAN
1/8" = 1'-0"



PERMIT SET

MCH RENOVATION PROJECT, GMHA 007-2014
GMHA FAMILY BIRTH CENTER
 850 GOVERNOR CAMACHO ROAD, OKA, TAMUNING, GUAM 96913
 GUAM MEMORIAL HOSPITAL AUTHORITY
 PARTIAL GROUND FLOOR PHASING PLAN

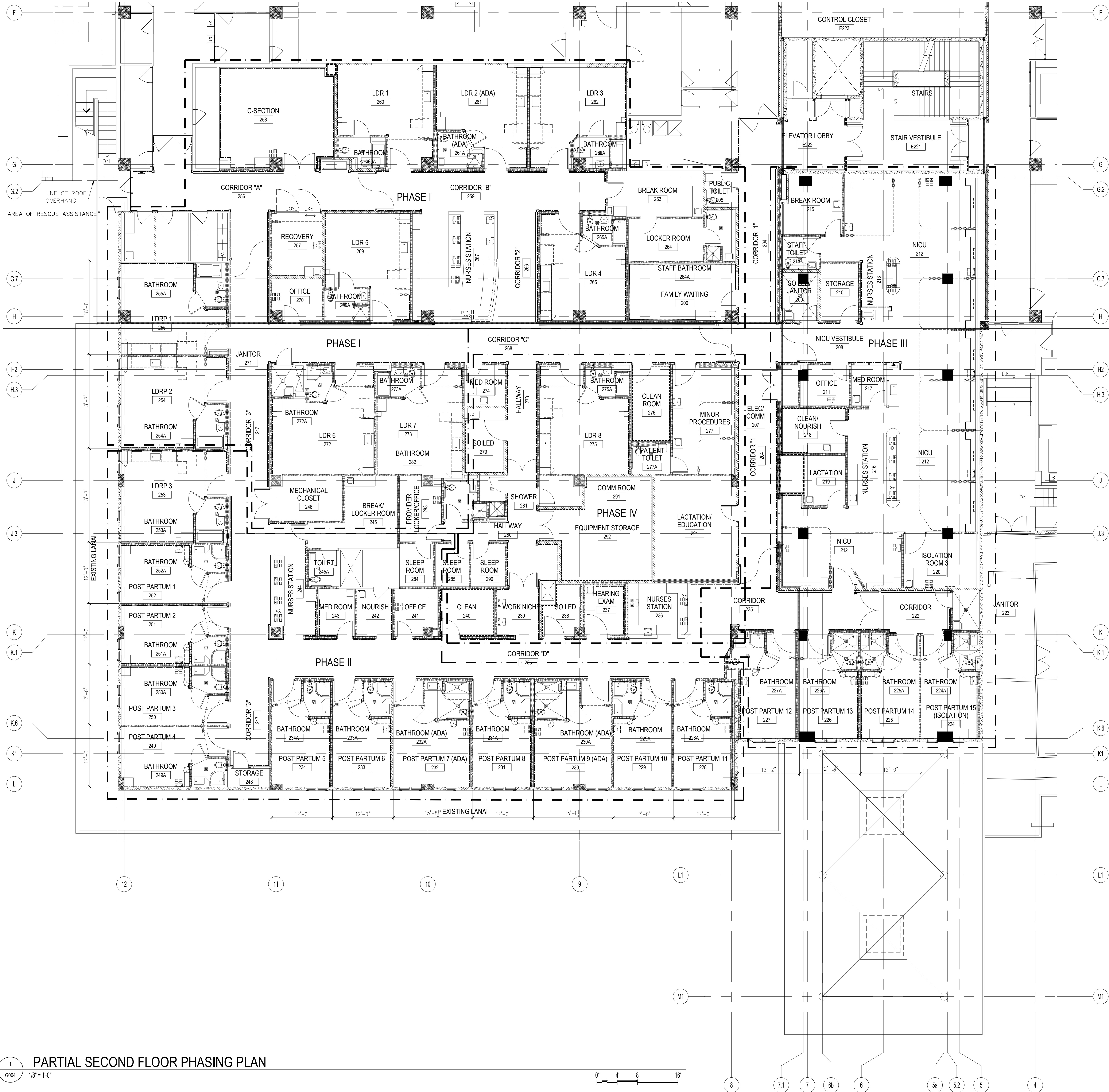
PROJECT TITLE:	OWNER:
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MARK	DATE	DESCRIPTION
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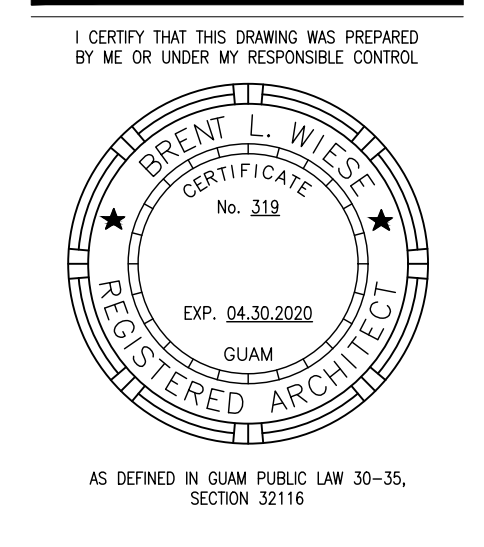
DWG NO: **G003**

PHASING PLAN NOTES

- REFER TO SPECIFICATIONS FOR ADDITIONAL PHASING WORK REQUIREMENTS. REFER TO DEMOLITION PLANS TO SEE EXISTING ROOMS REFERENCED IN THESE NOTES.
 - WHEN ANY EXISTING OR NEW CORRIDOR, OR ACCESS TO AN EGRESS EXIT ROUTE, IS CLOSED TO PUBLIC ACCESS, CONTRACTOR SHALL PROVIDE TEMPORARY DIRECTIONAL SIGNS TO AN ALTERNATE ROUTE.
- PHASE I PREP**
- PRIOR TO START OF IMPROVEMENTS WITHIN PHASE I, SPACES IN THE EXISTING OB WARD MUST BE CONVERTED FOR TEMPORARY L&D USE. WORK MUST BE COMPLETED BEFORE WORK WITHIN PHASE I CAN BEGIN.
 - THE EXISTING OB NURSE STATION C253/C255, LOUNGE & LOCKER ROOMS C257/C258/C259, OFFICE C256, AND CLEAN UTILITY C260 WILL FUNCTION AS THE SAME FOR L&D FUNCTIONS. NO TEMPORARY CHANGES NEEDED.
 - EXAM C252 WILL BE USED FOR THE EXISTING EXAM ROOM C235. NO TEMPORARY CHANGES NEEDED.
 - PATIENT ROOM C214 WILL BE USED AS SOILED. REMOVE FURNITURE, NO TEMPORARY CHANGES NEEDED.
 - PATIENT ROOMS C210 & C211, AND C212 & C213 WOULD BE COMBINED TO CREATE TWO ROOMS. MOBILE SURGICAL LIGHTS TO BE MOVED INTO THESE ROOMS. WALLS BETWEEN EACH SET OF ROOMS WOULD BE REMOVED. NO OTHER TEMPORARY CHANGES PROPOSED.
 - PATIENT ROOM C208 IS CURRENTLY A DOUBLE SIZED ROOM. NO TEMPORARY CHANGES NEEDED.
 - PATIENT ROOMS C205, C206, & C207 WILL BE SMALL SINGLE LABOR ROOMS, TO OFFSET THE EXISTING SMALL LABOR ROOMS C230 & C231. NO TEMPORARY CHANGES NEEDED.
 - PATIENT ROOMS C202, C203, & C204 WILL BE USED AS DOCTOR LOUNGE ROOMS. SHIFT FURNITURE, NO TEMPORARY CHANGES NEEDED.
 - PATIENT ROOM C201 WILL BE USED AS A FAMILY WAITING ROOM. SHIFT FURNITURE, NO TEMPORARY CHANGES NEEDED. REMOVE DOOR AND HARDWARE, HAND OVER TO GMHA.
 - THE EXISTING PUBLIC DOOR TO OB WILL BECOME THE PRIMARY PUBLIC ENTRANCE FOR BOTH THE TEMPORARY L&D AND NICU FUNCTIONS.
- PHASE I**
- PHASE I (A) WILL CREATE THE NEW C-SECTION, LDR 1, LDR 2, AND LDR 3. PART OF CORRIDOR 256 & MOST OF CORRIDOR 259 CAN BE COMPLETED AT THIS TIME. MUST MAINTAIN A ROUTE THROUGH CORRIDOR 256 AROUND THE C-SECTION ROOM TO THE EXISTING EXTERIOR EXIT DOOR, AND TO PROVIDE ACCESS TO THE OR BEHIND IT.
 - LABOR ROOM C250 WOULD BE DEMOLISHED, SO THE NEW MECHANICAL ROOM CAN BE CREATED AND EQUIPMENT INSTALLED.
 - PATIENT ROOMS C215-219 WILL BE CLOSED TO CREATE THE THREE NEW LDRP ROOMS. COORDINATE ACCESS SO THAT CORRIDOR 247 CAN BE CLOSED AND RENOVATED ALONG THE ROOMS.
 - THE CORRIDOR AROUND THE NEW C-SECTION MUST BE MAINTAINED INITIALLY TO PROVIDE AN INTERNAL ROUTE TO THE SURGICAL WARD (CORRIDORS 247 & 256). ONCE THE NEW CORRIDOR 259 IS MOSTLY COMPLETED (ONE SIDE WON'T BE DONE UNTIL PHASE I (B)), ROUTE PATIENTS DOWN THE EXISTING CORRIDOR C232 & C249. THEN MOST OF THE NEW CORRIDOR 247 ALONG THE LDRP ROOMS CAN MOSTLY BE COMPLETED. ONCE THAT IS DONE, THEN PHASE I (B) CAN START.
 - PHASE I (B) WOULD DEMOLISH THE EXISTING MF/ICU C229, NURSE STATION C233, EXAM C235, RECOVERY C234, THE DOCTOR'S LOUNGES C241 & C244, LOCKER ROOMS C239 & C243, AND FAMILY WAITING ROOM C246. ALSO, LABOR ROOMS C230, C231, C280, C282, CLEAN C251, AND SOILED C281 WOULD BE RENOVATED.
 - UPON COMPLETION OF PHASE I (B), MOST OF THE L&D SPACE WOULD BE COMPLETE AND FUNCTIONING. EXCEPT FOR THE NEW LDR & CLEAN, SOILED, MEDS, MINOR PROCEDURES, AND DOCTOR'S LOUNGE ROOMS WOULD NOT BE COMPLETED UNTIL THE NICU IS RELOCATED AND THE OLD SPACE RENOVATED. THESE FUNCTIONS WILL REMAIN IN THE OLD OB SPACE, AS DIRECTED BY GMHA.
 - CORRIDOR 256 TO THE LEFT OF THE C-SECTION, PROVIDING ACCESS TO THE OB AND THE EXIT DOOR CAN BE RENOVATED ONCE PHASE I (B) IS COMPLETED. BECAUSE EXIT EGRESS AND ACCESS TO THE OB WILL BE CLOSED, COORDINATION AND SCHEDULING OF THIS WORK WITH GMHA WILL BE CRITICAL, AND WORK CAN NOT START UNTIL THE WORK PLAN AND SCHEDULE IS APPROVED BY GMHA.
- PHASE II**
- AS THE OLD OB SPACE IS RENOVATED, THE REMAINING L&D FUNCTIONS WOULD SHIFT TO NEW OB ROOMS AND STAY IN THIS AREA, IF WORK IS DONE IN TWO SUB-PHASES.
 - EXTERIOR WALL INFILL WORK SHALL BE COMPLETED AND WEATHERPROOFED PRIOR TO REMOVING THE EXISTING EXTERIOR WALL. OR, THE CONTRACTOR SHALL PROVIDE TEMPORARY WEATHERPROOFING TO PROTECT THE INTERIOR OF THE BUILDING FROM WATER AND WEATHER. NEW EXTERIOR WINDOWS SHALL BE INSTALLED AND WEATHERPROOFED PRIOR TO INSTALLING ADJACENT INTERIOR FINISHES. CONTRACTOR SHALL PROTECT ALL EXPOSED OPENINGS UPON A STORM EVENT COR3 DECLARED BY THE GOVERNOR.
- PHASE III**
- DEMOLITION OF THE EXISTING STAIR TOWER AND BRIDGE CORRIDOR FOR THE NEW ELEVATOR LOBBY 202 AND STAIR VESTIBULE 201 CANNOT BEGIN UNTIL GFD REQUIREMENTS ARE SATISFIED, REFER TO PHASE III NOTES ON SHEET G003. TO COMPLETE THE TRANSITION AREA WORK TO THIS AREA, COORDINATION AND SCHEDULING OF THIS WORK WITH GMHA WILL BE CRITICAL, AND WORK CAN NOT START UNTIL THE WORK PLAN AND SCHEDULE IS APPROVED BY GMHA. THE SAME WORK ON THE THIRD AND FOURTH FLOORS MUST ALSO BE COORDINATED AS DESCRIBED ABOVE, AND COORDINATED WITH THE SECOND AND FIRST FLOOR WORK.
 - PART OF CORRIDOR 204 FROM THE ELEVATOR LOBBY 202 TO CORRIDOR 268, CANNOT BE CLOSED FULLY FOR MORE THAN A DAY. CONTRACTOR SHALL COMPLETE AS MUCH AS THE WORK AS POSSIBLE, WITHOUT CLOSING BY PROVIDING TEMPORARY OVERHEAD PROTECTION WHILE CEILING WORK IS DONE, AND VISQUEEN HOARDING AT THE PHASE IV WALL UNTIL COMPLETED. FLOORING WORK SHALL BE DONE IN SECTIONS THAT WILL ALLOW TRAFFIC TO PASS AT ALL TIMES. PROVIDE FLOOR PROTECTION AT NEW FLOORING UNTIL COMPLETED, AND TO PROVIDE A LEVEL TEMPORARY FLOOR TO AVOID TRIP HAZARDS WHILE WORK IS BEING DONE. WORK CAN NOT START UNTIL THE WORK PLAN AND SCHEDULE IS APPROVED BY GMHA.
 - ALL WORK AT EXTERIOR WALLS SHALL BE PHASED AND/OR PROTECTED SO THAT RAIN DOES NOT ENTER INTO THE EXISTING SPACES, OCCUPIED SPACES, OR NEWLY COMPLETED SPACES. CONTRACTOR SHALL PROTECT ALL EXPOSED OPENINGS UPON A STORM EVENT COR3 DECLARED BY THE GOVERNOR.
- GENERAL**
- ALL TEMPORARY UTILITIES SHALL BE COORDINATED WITH EACH PHASE OF WORK. AT NO TIME SHALL UTILITIES BE DISCONTINUED TO ANY OCCUPIED SPACE.
 - REFER TO DEMOLITION PLANS FOR EXISTING ROOM LOCATIONS AND IDENTIFICATIONS.



1 PARTIAL SECOND FLOOR PHASING PLAN
G004 1/8" = 1'-0"



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